

AGENDA

PUBLIC HEARING

Tuesday, February 10, 2015

7:00 p.m.

**George Fraser Room, Ucluelet Community Centre
500 Matterson Drive,
Ucluelet, B.C.**

Council Members:

Mayor Dianne St. Jacques

Councillor Sally Mole

Councillor Randy Oliwa

Councillor Marilyn McEwen

Councillor Mayco Noel



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PUBLIC HEARING AGENDA

February 10, 2015 at 7:00 pm
 George Fraser Room, Ucluelet Community Centre
 500 Matterson Drive, Ucluelet, BC

<p>CALL TO ORDER</p>	
<p>EXPLANATION OF PUBLIC HEARING PROCESS:</p> <p>Call for Persons to Speak</p> <p>Rules Governing Public Hearings**</p>	
<p>BYLAWS AND RELATED REPORTS:</p> <p>PH 1. Zoning Amendment Bylaw No. 1179, 2015</p> <p>PH 1-A. Written Submissions</p>	
<p>ADJOURNMENT</p>	

Pg. 21

**** RULES GOVERNING PUBLIC HEARINGS**

1. As provided for in the *Local Government Act*, the Council is required to hold a Public Hearing before adopting a Official Community Plan Bylaw, Official Community Plan Bylaw or amendments thereto.
2. At a Public Hearing all persons **who deem their interest in property affected** by the proposed bylaws shall be afforded an opportunity to be heard on matters contained in the bylaw.
3. The Council may give such effect, as it deems fit, to representations made at a Public Hearing, in the bylaws as adopted.
4. At a Public Hearing the Council is under no obligation to enter into a debate on any issue. The purpose of a hearing is to **hear** representations, which will later be considered by the Council in the meeting.

Dianne St. Jacques
 Mayor

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FOR REFERENCE



STAFF REPORT TO COUNCIL

Council Meeting: JANUARY 13, 2015
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOHN TOWGOOD, PLANNING ASSISTANT

FILE NO: (RZ14-05); XREF: FOLIO 114.884

SUBJECT: PROPOSAL TO REZONE LOT 4, DISTRICT LOT 281, CLAYOQUOT DISTRICT PLAN VIP76214, PID 025-812-700 (542 MARINE DRIVE) FROM CD-2A SUBZONE – DISTRICT LOT 281 (LOT 1), SINGLE FAMILY DWELLING TO VR-1 VACATION RENTAL.

ATTACHMENT(S): APPENDIX A – DESIGN DRAWINGS
APPENDIX B – PROPOSED BYLAW No. 1179, 2015

RECOMMENDATION(S):

1. **THAT** Zoning Bylaw No. 1179, 2015 be given First and Second Readings; and,
2. **THAT** Zoning Bylaw No. 1179, 2015 be advanced to a Public Hearing.

PURPOSE:

To provide Council with information on the proposed rezoning of the subject property located at 542 Marine Drive (**Figure 1**). The proposed Rezoning is from CD-2A, Single Family Dwelling to VR-1 Vacation Rental.

ANALYSIS:

The subject site is a 0.59 acre lot located on the west side of Marine Drive overlooking Big Beach Park and the Pacific Ocean. The immediate neighbourhood is a mix of Single Family Dwellings (SFD), SFD's with Vacation Rental units, Multi Family dwellings and Resort Condominium. To the south of the subject lot there are two VR-1 zoned lots that were previously zoned CD-2A. (**Figure 1**)

The subject lot complies with the VR-1 lot regulations (VR-1.2). The proposed 750.5sqm (8078sqft) SFD will contain one 63.5sqm (684sqft) vacation rental unit. The vacation rental unit would be located over an integral garage in a purpose built SFD. The preliminary drawings meet the VR-1 zone, Section 406-Vacation Rentals and Division 500-Off-Street Parking requirements. It should be noted that if the property is rezoned to VR-1 the applicant is permitted to build within the VR-1 zoning regulations and that the applicant is not tied to the proposed building plans submitted. The property is affected by a statutory building scheme (EV154677) that do not involved the District, and are the property owner's responsibility to comply with.

FOR REFERENCE

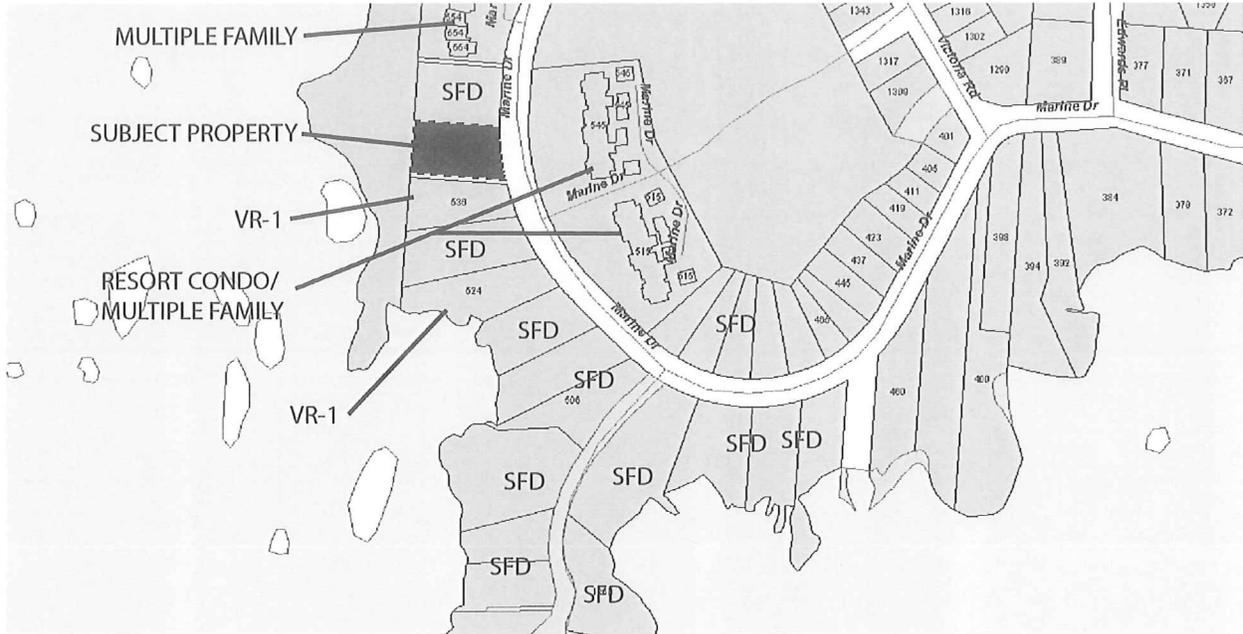


Figure 1

SUMMARY:

The proposal meets the zoning requirements for a VR-1 Vacation Rental zone. The immediate neighborhood has a mix of commercial accommodation, multi-family and single family dwellings. The large lot and waterfront setting will help to mitigate the impact of the added commercial element to the neighbourhood.

Respectfully submitted:


John Towgood, Planning Assistant

FOR REFERENCE

November 3, 2014

600 Linkleas Avenue
Victoria, B.C.
V8S 5C1



Mr. John Towgood
Planning Assistant
District of Ucluelet
P.O. Box 999
Ucluelet, B.C.
V0R 3A0

Dear Mr. Towgood;

Please accept this letter and its attachments as our request for re-zoning of Lot 4 DL281 (aka 542 Marine Drive) from Single Family Residential in CD-2A to Vacation Rental.

As you know, the existing use is bare land and we seek VR status to allow possible revenue generation after construction.

Sewage, storm sewer and water supply are all pre-existing lot services as provided by the District.

Until VR status is conferred, we do not have an approximate commencement date of construction.

Our proffered reasons in support of this application are:

- Expanding the tourist accommodation and related economic activities in the community
- Increasing third party marketing of Ucluelet as a vacation destination
- Other lots in the neighbourhood (Lots 5 and 8) have proven this designation to be an economic driver
- Show continued support from the District and council to improve the activity and energy levels of the community

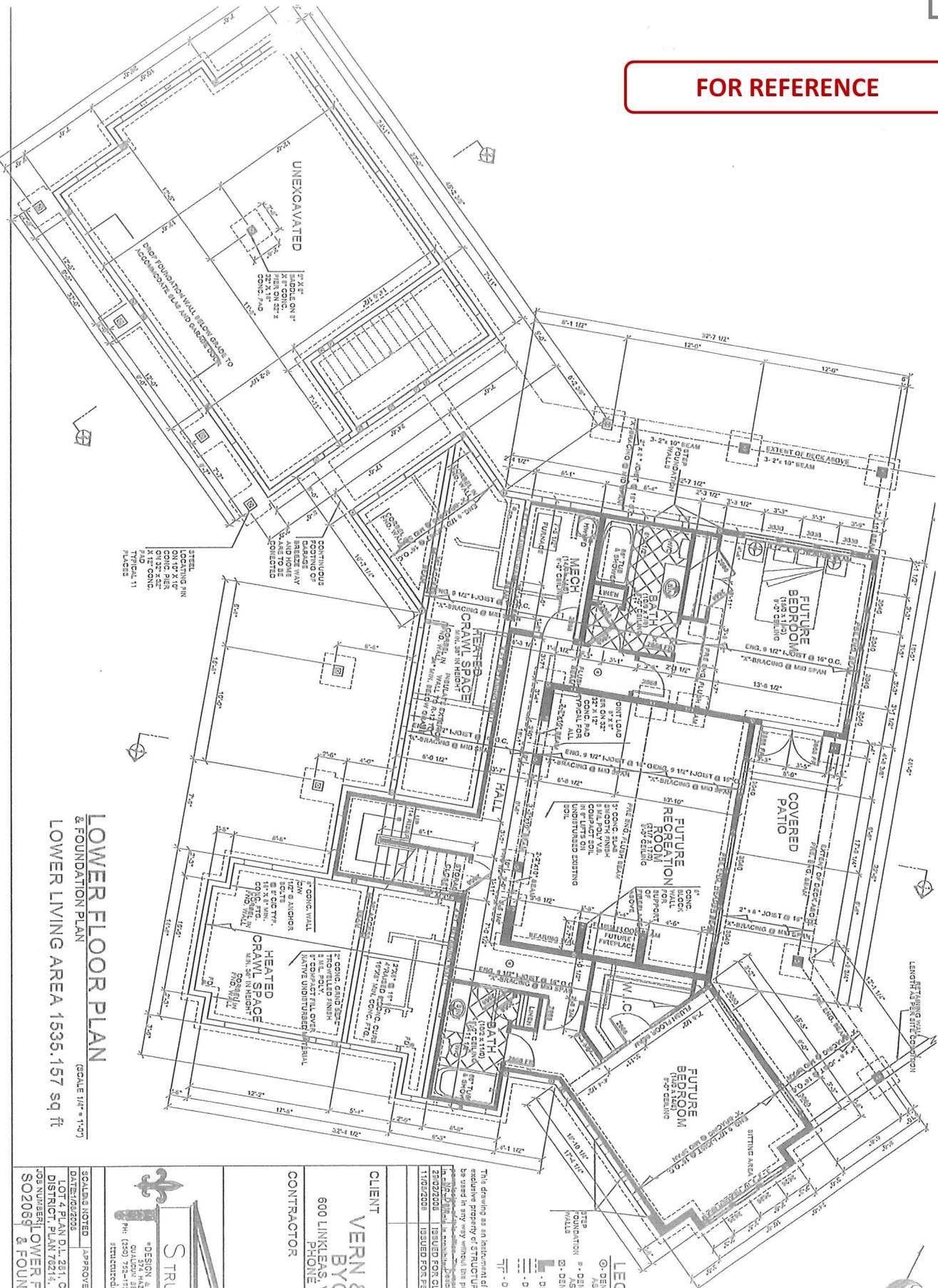
A small note regarding the plans provided: the planned foundation is within the required setbacks. It is only the roof overhang that extends beyond the setback area. Our building permit application would include a foundation drawing that confirms this as fact.

Sincerely,

Vern and Sandra Byggdin

/Encl: three 11x17 copies of building plans and lot survey; one 8.5x11 copy of same, one completed application form, one title certificate, one \$900 cheque re application fee.

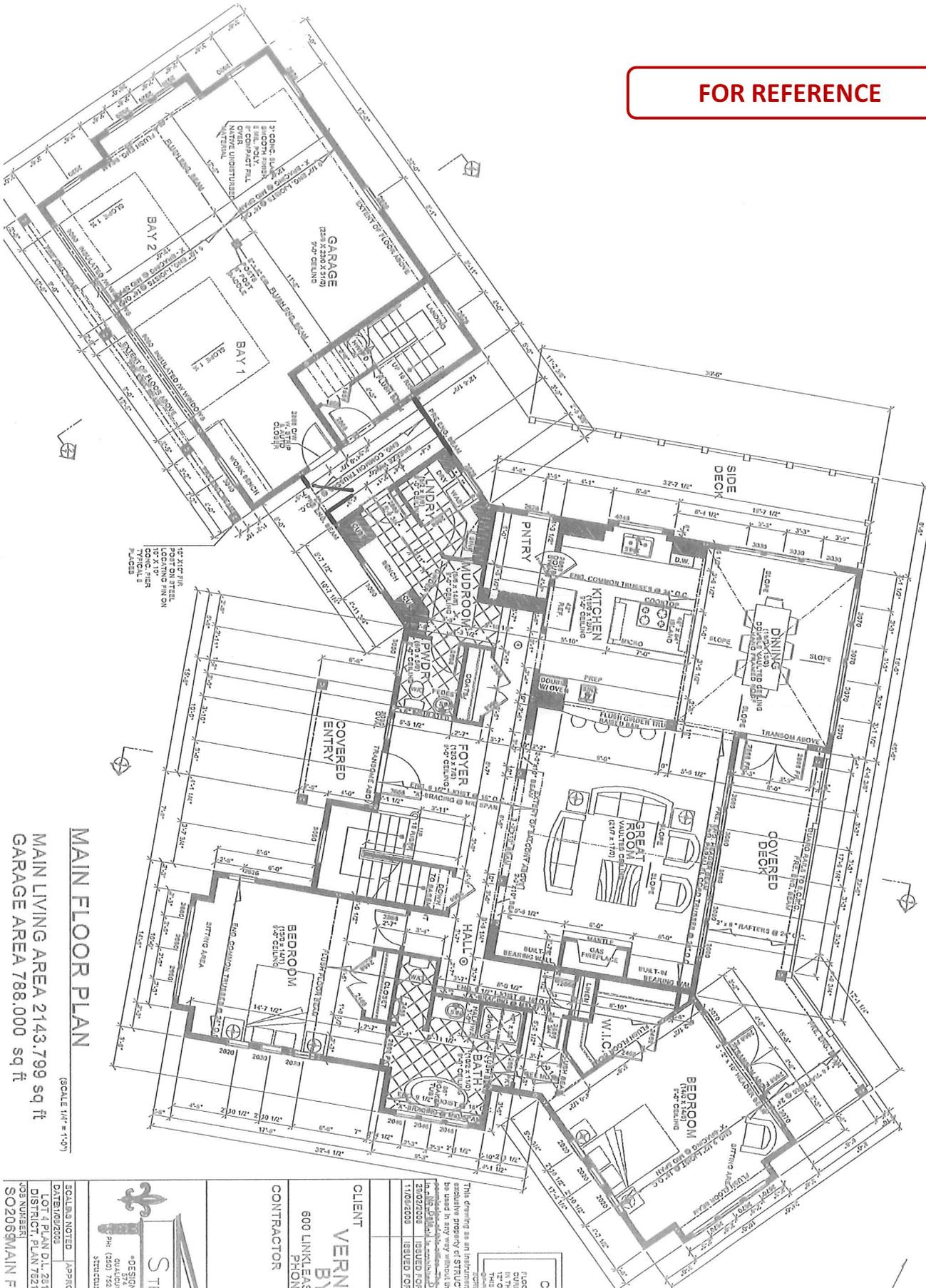
FOR REFERENCE



LOWER FLOOR PLAN
& FOUNDATION PLAN (SCALE 1/4" = 1'-0")
LOWER LIVING AREA 1535.157 sq ft

 <p>STRUCTURE</p> <p>*DESIGN & MANAGEMENT 574 HAZELWOOD AVE. SUITE 111 VICTORIA B.C. V8N 2G1 PH: (250) 752-1520 FAX: (250) 752-2100 structure@design@shaw.ca</p>	<p>CLIENT</p> <p>VERN & SANDRA BYGGDIN</p> <p>800 LINKLEAS, VICTORIA B.C., V8S 5C1 PHONE (250) 592-3252</p>	<p>CONTRACTOR</p> <p>DATE: 02/20/2013</p> <p>APPROVED BY: </p> <p>DRAWN BY: KEN TANIGUCHI</p> <p>LOT 4 PLAN D.L. 231, CLAYCOQUIT DISTRICT, PLAN 76214, UCLUELET B.C.</p> <p>JOB NUMBER: LOWER FLOOR PLAN & FOUNDATION 2/19</p>	<p>This drawing is an indication of service to the exclusive property of STRUCTURE DESIGN and may not be used in any way without the prior written consent of STRUCTURE DESIGN.</p> <p>IN 250-752-1520 1/10/2013 ISSUED FOR CLIENT REVIEW 1/10/2013 ISSUED FOR PERMITS</p>
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FOR REFERENCE



MAIN FLOOR PLAN
 (SCALE 1/4" = 1'-0")
 MAIN LIVING AREA 2143,799 sq ft
 GARAGE AREA 788,000 sq ft

CLIENT
VERN & SANDRA BYGGDIN
 600 LINKLEAS VICTORIA B.C. V8S 5C1
 PHONE (250) 552-3252

CONTRACTOR

DESIGNER
STRUCTURE
 DESIGN & ARCHITECTURE
 4000 UNIVERSITY AVENUE, SUITE 101
 VANCOUVER, B.C. V6T 1A1
 PHONE (604) 725-1200 FAX (604) 725-5110
 STRUCTUREDESIGN@TELUS.NET

DATE/REVISED

DESIGNER

APPROVED BY:

DATE/REVISED

DESIGNER

APPROVED BY:

LEGEND

- ⊕ DETECTED SMOKE DETECTOR
- ⊖ AS REQUIRED
- ⊙ DEVOTES POINT LOAD

CURABLES SHOWER FLOOR NOTES

FLOOR ABOVE TO ACCOMMODATE CURABLES SHOWER FLOOR JOINT TO C. AREA TO BE 2" X 6"

THIS FLOORING IS 2" THICK DIPS

This drawing is an instrument of service in the professional capacity of the architect and is the exclusive property of STRUCTURE DESIGN and may not be used in any way without the prior written consent of STRUCTURE DESIGN.

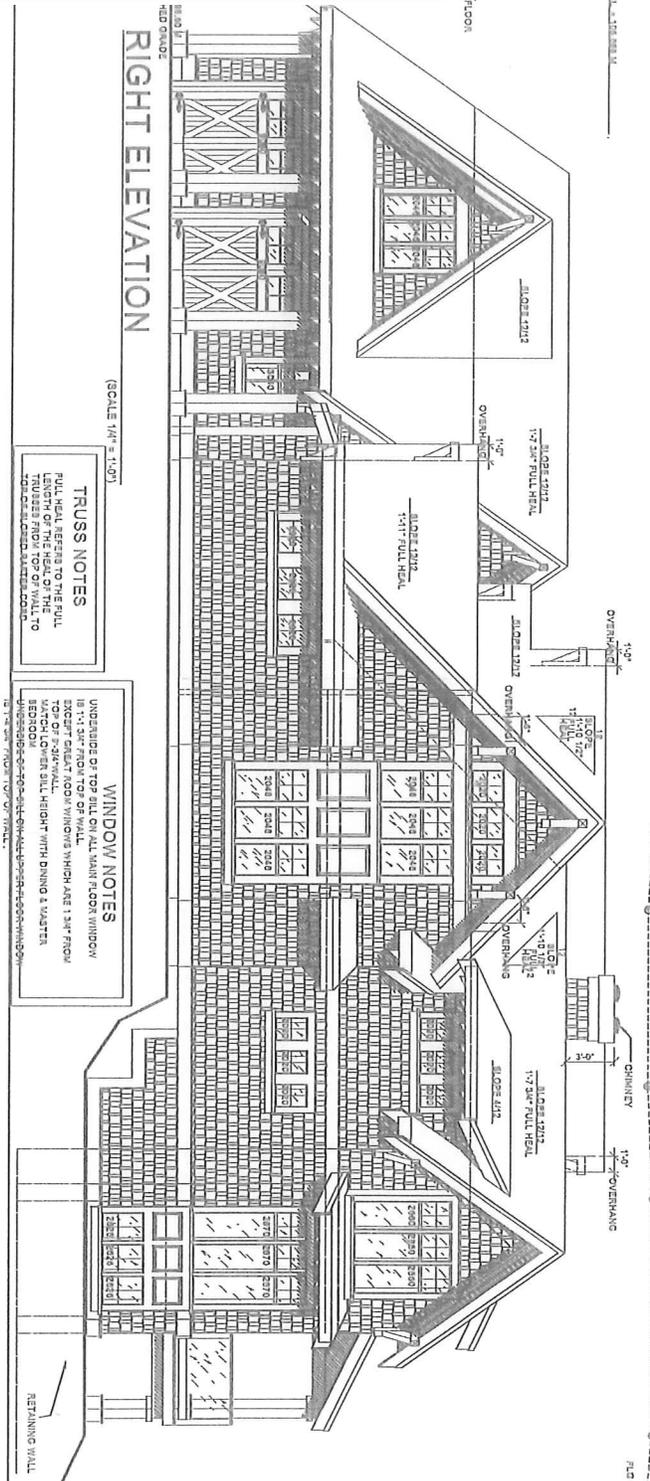
DATE/REVISED

DESIGNER

ISSUED FOR CLIENT REVIEW

ISSUED FOR PERMITS

FOR REFERENCE



TRUSS NOTES

FULL HEIGHT TRUSSES TO THE FULL HEIGHT OF THE WALL. TRUSSES FROM TOP OF WALL TO TOP OF CEILING ARE 24\"/>

WINDOW NOTES

UNDERSIDE OF TOP SILL OF ALL WINDOW/DOOR WINDOWS IS 1 1/2\"/>

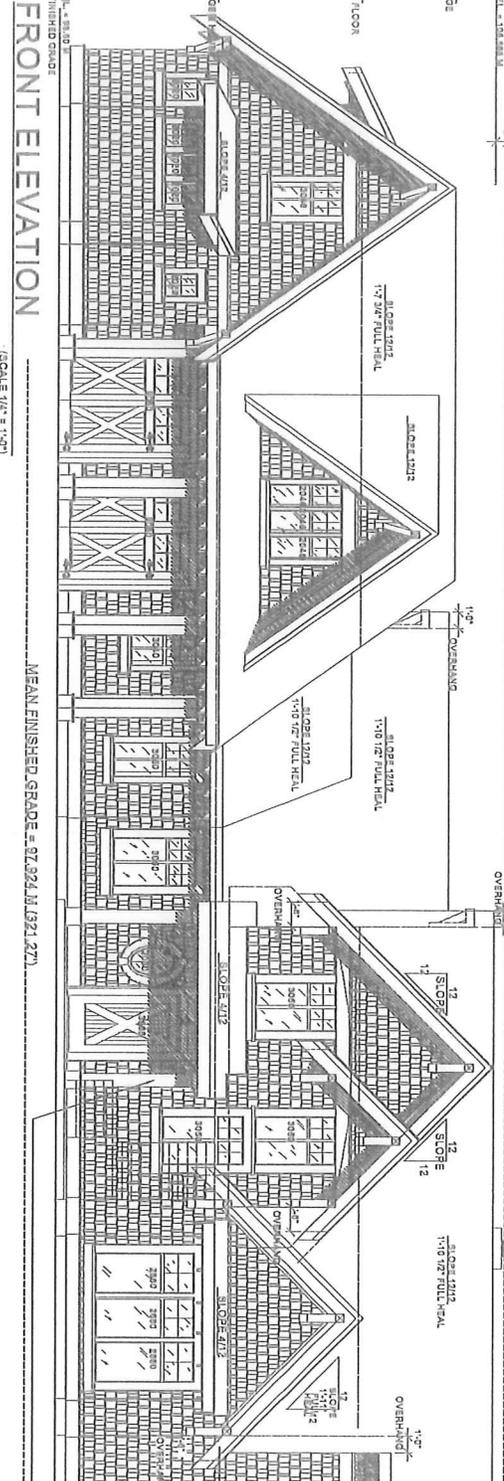
CLIENT

VERN & SANDRA BYGGDIN
 600 LINKLEAS, VICTORIA B.C. V8S 5C1
 CONTRACTOR PHONE (250) 592-2592

CONTRACTOR

STRUCTURE
 DESIGN & MANAGEMENT
 QUADRA DESIGN, B.C. INC. 141
 Ph: (250) 752-1200 Fax: (250) 752-2190
 structuredesign@telus.net

APPROVED BY: KEVIN TANGUAY
DRAWING NUMBER: SO2089 ELEVATIONS
DATE: 6/9



MATERIALS LEGEND

- 01 18 YEAR PERGOLA SHINGLES
- 02 18 YEAR PERGOLA SHINGLES
- 03 18 YEAR PERGOLA SHINGLES
- 04 18 YEAR PERGOLA SHINGLES
- 05 18 YEAR PERGOLA SHINGLES
- 06 18 YEAR PERGOLA SHINGLES
- 07 18 YEAR PERGOLA SHINGLES

CLIENT

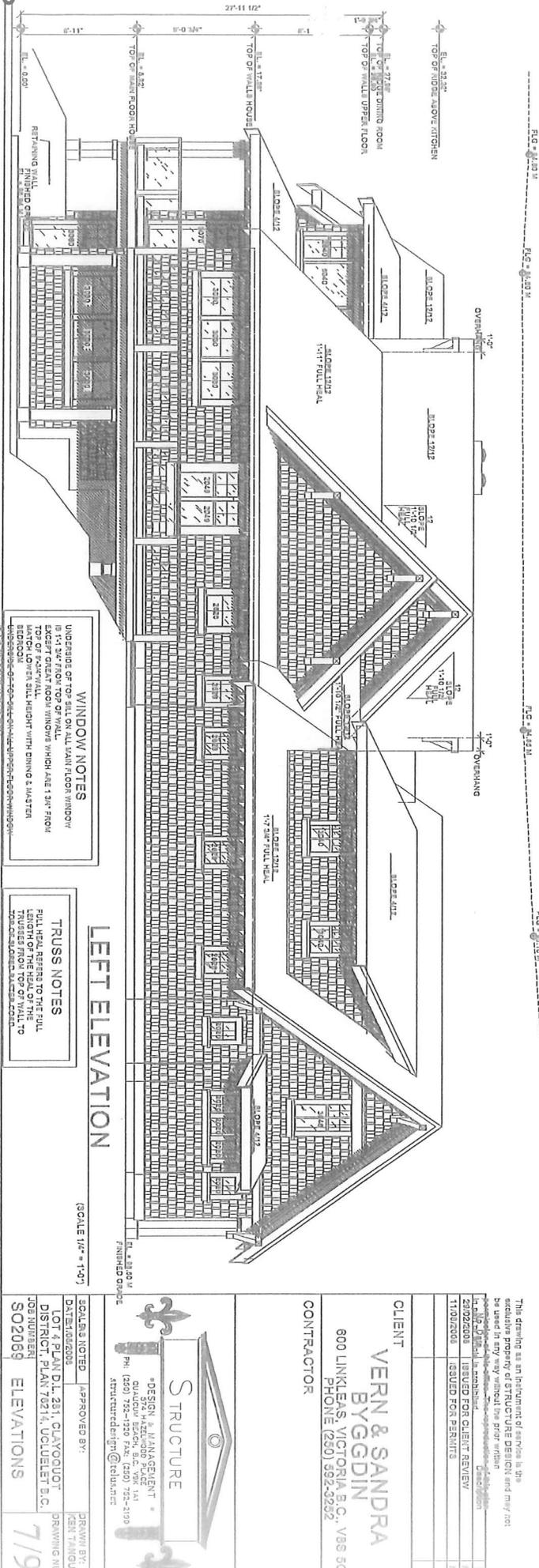
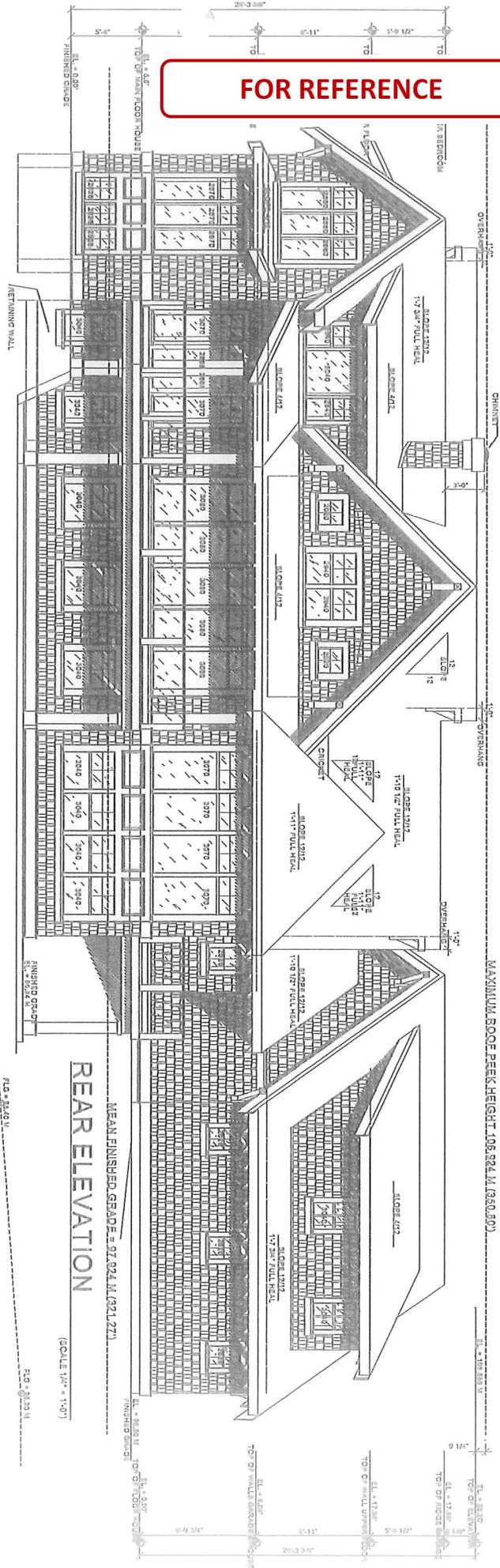
VERN & SANDRA BYGGDIN
 600 LINKLEAS, VICTORIA B.C. V8S 5C1
 CONTRACTOR PHONE (250) 592-2592

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 Ph: (250) 752-1200 Fax: (250) 752-2190
 structuredesign@telus.net

APPROVED BY: KEVIN TANGUAY
DRAWING NUMBER: SO2089 ELEVATIONS
DATE: 6/9

FOR REFERENCE



WINDOW NOTES
 UNDERFRONT OF TOP SILL ON ALL MAIN FLOOR WINDOW IS 1 3/4" FROM TOP OF WALL.
 TOP OF ROOF FULL WALL WINDOW WHICH ARE 1 3/4" FROM MATCH LOWER SILL HEIGHT WITH BRICKING & MASTER BRICKWORK.

TRUSS NOTES
 FULL HEAD REFERS TO THE FULL LENGTH OF THE HEAD OF THE TRUSS FROM TOP OF WALL TO TRUSS CENTER LINE.

LEFT ELEVATION

(SCALE 1/4" = 1'-0")

DESIGN & MANAGEMENT	APPROVED BY:	DRAWN BY:
90-575 HAZELWOOD ROAD, UNIT 101 PH: (250) 753-1229 FAX: (250) 753-2150 asturtracedesign@telus.net	KEN TANGUYAN	KEN TANGUYAN
CLIENT	DATE: 06/02/2020	DRAWING NUMBER
VERN & SANDRA BYGGDIN	LOT 4 PLAN D.L. 291, CLAYCOQUIT DISTRICT, PLAN 70214, UCCULET B.C.	7/9
CONTRACTOR	JOB NUMBER: S02069	ELEVATIONS

STRUCTURE

DESIGN & MANAGEMENT

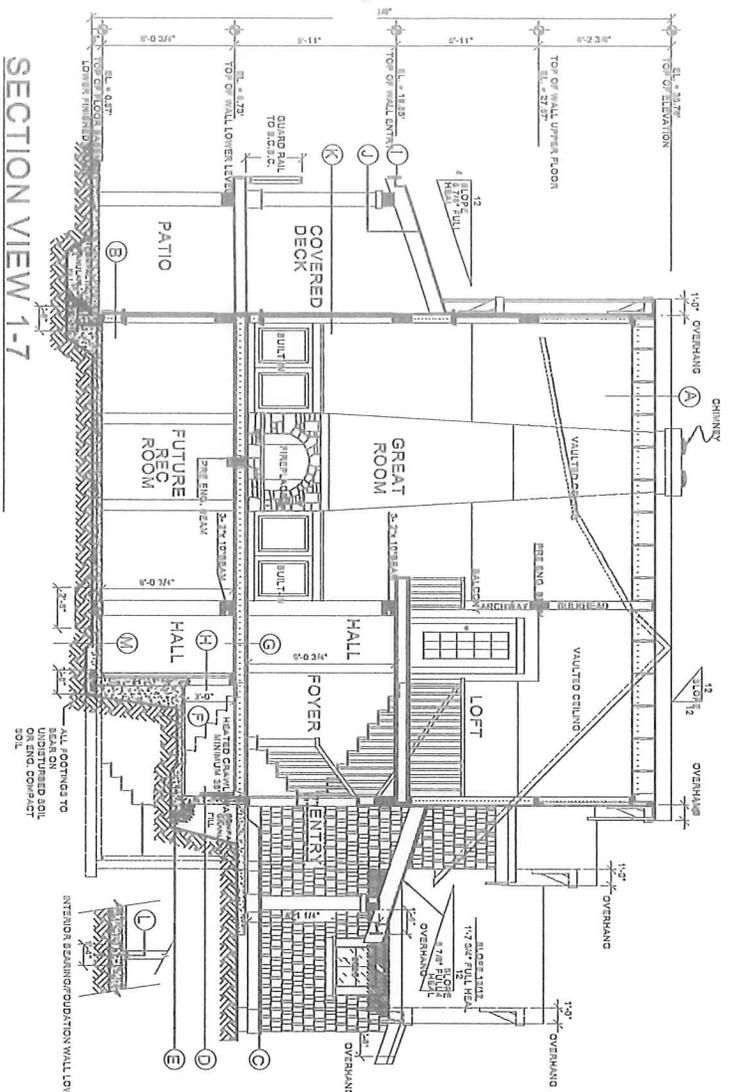
90-575 HAZELWOOD ROAD, UNIT 101
PH: (250) 753-1229 FAX: (250) 753-2150
asturtracedesign@telus.net

CLIENT
VERN & SANDRA BYGGDIN
 600 LINKLEAS, VICTORIA B.C. V8S 8C1
 PHONE (250) 592-3232

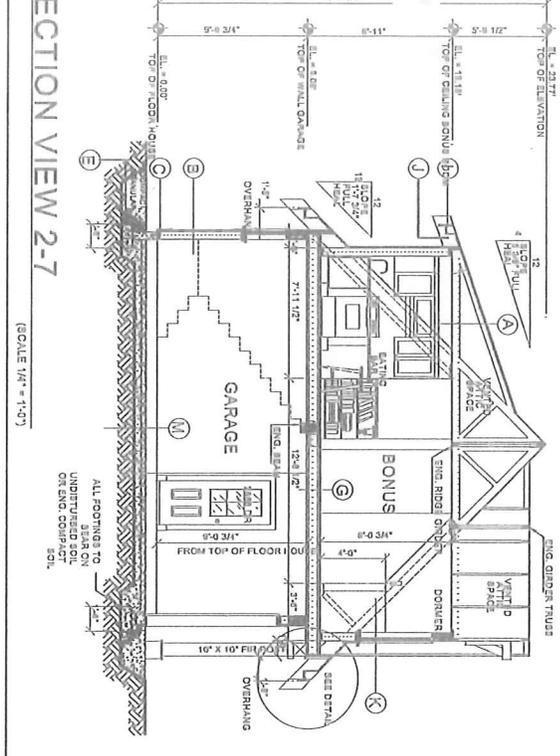
CONTRACTOR

This drawing is an instrument of service in the exclusive property of STRUCTURE DESIGN and may not be used in any way without the prior written consent of STRUCTURE DESIGN.

ISSUED FOR CLIENT REVIEW
 11/03/2008
 ISSUED FOR PERMITS



SECTION VIEW 1-7 (SCALE 1/4" = 1'-0")



SECTION VIEW 2-7 (SCALE 1/4" = 1'-0")

FOR REFERENCE

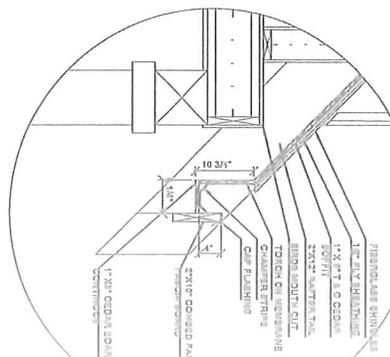
BUILDING ASSEMBLIES

- A** 25 YEAR TRIPLE GLASS SHINGLES
- B** 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
- C** 1/2" ANCHOR BOLTS @ 8" O.C. (UNLESS OTHERWISE NOTED)
- D** 2 COATS DAMP PROOFING BELOW
- E** 3/4" CONCRETE FOUNDATION WALL WITH REINFORCING ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
- F** 3/4" CONCRETE GROUND SLAB, TOP FINISHED FINISH
- G** 2" X 4" C.C. @ 16" O.C. (UNLESS OTHERWISE NOTED)
- H** 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
- I** 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
- J** 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
- K** 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
- L** 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
- M** 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)

GENERAL NOTES

- ROOF**
 - 25 YEAR TRIPLE GLASS SHINGLES (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
- CEILING**
 - FINISHED TO OWNERS SPEC. ON 5/8" TYPE "X" DRYWALL
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
- EXTERIOR WALLS**
 - 3/4" CONCRETE FOUNDATION WALL WITH REINFORCING ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
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 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
- INTERIOR WALLS**
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
- DOORS**
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
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 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
- WINDOWS**
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)
 - 1/2" POLYURETHANE INSULATION ON 2" X 4" C.C. (UNLESS OTHERWISE NOTED)

BUILT-IN GUTTER DETAIL



(SCALE 1" = 1'-0")

This drawing is an instrument of service as the exclusive property of STRUCTURE DESIGN and may not be used in any other project without the prior written consent of STRUCTURE DESIGN.

DATE: 25/02/2023
 DRAWN BY: JEN THANGUY
 CHECKED BY: JEN THANGUY
 PROJECT: LOT 4 PLAN DL 281, CLAYCOQUIT DISTRICT, PLAN 78214, UOULELET B.C.
 JOB NUMBER: SO2089
 SECTION VIEWS: 8/9

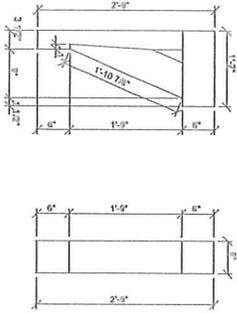
CLIENT: VERN & SANDRA BYGGDIN
 600 LINKLEAS, VICTORIA B.C. V8S 5C1
 PHONE (250) 592-3252

CONTRACTOR: STRUCTURE DESIGN

DESIGN & MANAGEMENT: S STRUCTURE
 274 HAZELWOOD PLACE, VANCOUVER, BC V6N 1J1
 PHONE: (250) 752-1927 FAX: (250) 752-2110
 EMAIL: structuredesign@telusnet

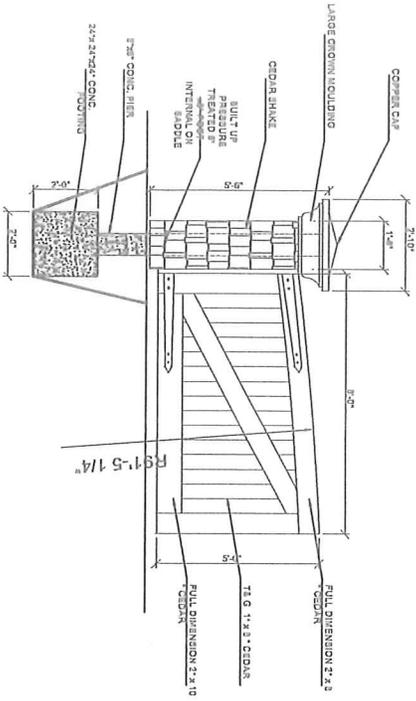
APPROVED BY: [Signature]

FOR REFERENCE



BRACKET DETAIL

(SCALE 1/2" = 1'-0")



HALF OF GATE DETAIL

(SCALE 1/4" = 1'-0")

GENERAL NOTES

- ALL WORK SHALL COMPLY TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AND SHALL EXCEED THE MINIMUM REQUIREMENTS AS SET BY THOSE
- HAVING JURISDICTION.
- ERRORS, OMISSIONS OR CHANGES TO THESE PLANS ARE TO BE REPORTED TO THE DESIGNER PROMPTLY UPON NOTICE TO THE DESIGNER.
- FURTHER WORK TAKING PLACE.
- STRUCTURAL DESIGN & SUPERVISION SHALL BE PERFORMED
- BY A CERTIFIED STRUCTURAL ENGINEER
- CERTIFIED IN THE PROVINCE OF BRITISH COLUMBIA AT THE REQUEST OF THE
- LOCAL BUILDING AUTHORITY.
- FOUNDATIONS TO BE VERIFIED CORRECT BY A STRUCTURAL ENGINEER UNLESS OTHERWISE APPROVED BY THE BUILDING AUTHORITY.
- ALL FOUNDATIONS ARE ASSUMED BEARING ON NATIVE SOIL
- POINT LOADS TO BE SUPPORTED CONTINUOUS TO FOUNDATION.

This drawing SHALL BE A 1/2" X 10" PRINT OR AS EXCLUSIVE OF THE CONTRACTING PERSON, CONTRACTOR AND BE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

BY: **BYGGDIN**
 1100/22ND AVE. S.W. VANCOUVER, B.C. V6M 2K7
 TEL: (604) 273-8888 FAX: (604) 273-8889
 WWW.BYGGDIN.COM

DESIGNED BY A STRUCTURAL ENGINEER AT THE REQUEST OF THE BUILDING INSPECTION AUTHORITY.

CLIENT: **MEAN SYSTEM**
LARRY RIN & SANDRA
 SUBMISSION
BYGGDIN
 600 LINKLEAS, VICTORIA, B.C., V8S 9C1
 PHONE (250) 592-9292

CONTRACTOR

STRUCTURE

DESIGN & MANAGEMENT
 QUADRA CONSULTING, B.C. INC. 141
 PH: (250) 725-1929 FAX: (250) 725-2110
 structure@design.com | info@structure.com

SCALE(S) NOTED	APPROVED BY:	DESIGN BY:
DRAWING NUMBER	(SIGNATURE)	(SIGNATURE)
LOT # PLAN D.L. 281, QUAYCOUOT DISTRICT, PLAN 79214, UCCULET B.C.		DRAWING NUMBER
089 NUMBER	DETAILS	9/9

FOR REFERENCE

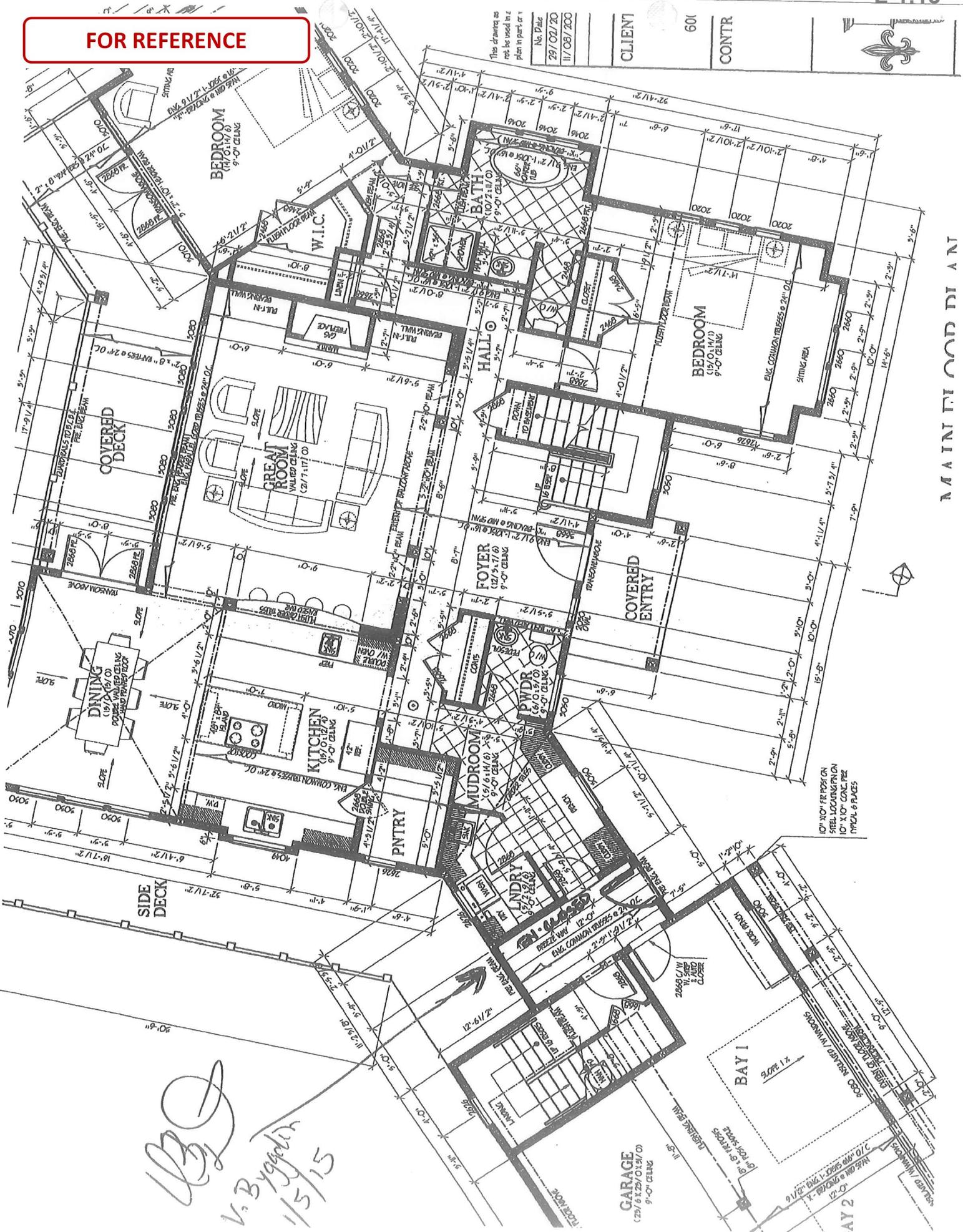
This drawing is not to be used in a plan in part or in

No. Date
29 / 02 / 20
11 / 08 / 200

CLIENT

601

CONTR



Handwritten signature and date:
V. Byggholm
1/5/15

MAIN FLOOR PLAN

10" X 10" POSITION
STAIR LOCATION
10" X 10" COAL FIRE
NYCAL 6 PLACES

FOR REFERENCE

DISTRICT OF UCLUELET

Bylaw No. 1179, 2015

A bylaw to amend the "District of Ucluelet Zoning Bylaw No. 1160, 2013".

WHEREAS Section 903 and other parts of the *Local Government Act* authorize zoning and other development regulations;

NOW THEREFORE the Council of the District of Ucluelet, in open meeting assembled, enacts as follows;

1. THAT the property with legal description of Lot 4, District Lot 281, Clayoquot District Plan VIP76214, PID 025-812-700, generally as shown highlighted in black on the Schedule 'A' attached to and forming part of this bylaw, be rezoned from CD-2A SubZone – District Lot 281 (Lot 1) to VR-1 Vacation Rental, Single Family Dwelling and the Text and Zoning Maps of the District of Ucluelet Zoning Bylaw No. 1160, 2013 be amended accordingly.

READ A FIRST TIME this th day of , 2015.

READ A SECOND TIME this th day of , 2015.

PUBLIC HEARING held this th day of , 2015.

READ A THIRD TIME this th day of , 2015.

ADOPTED this th day of , 2015.

CERTIFIED A TRUE AND CORRECT COPY of "District of Ucluelet Zoning Amendment Bylaw No. 1179, 2014."

Mayor
Dianne St. Jacques

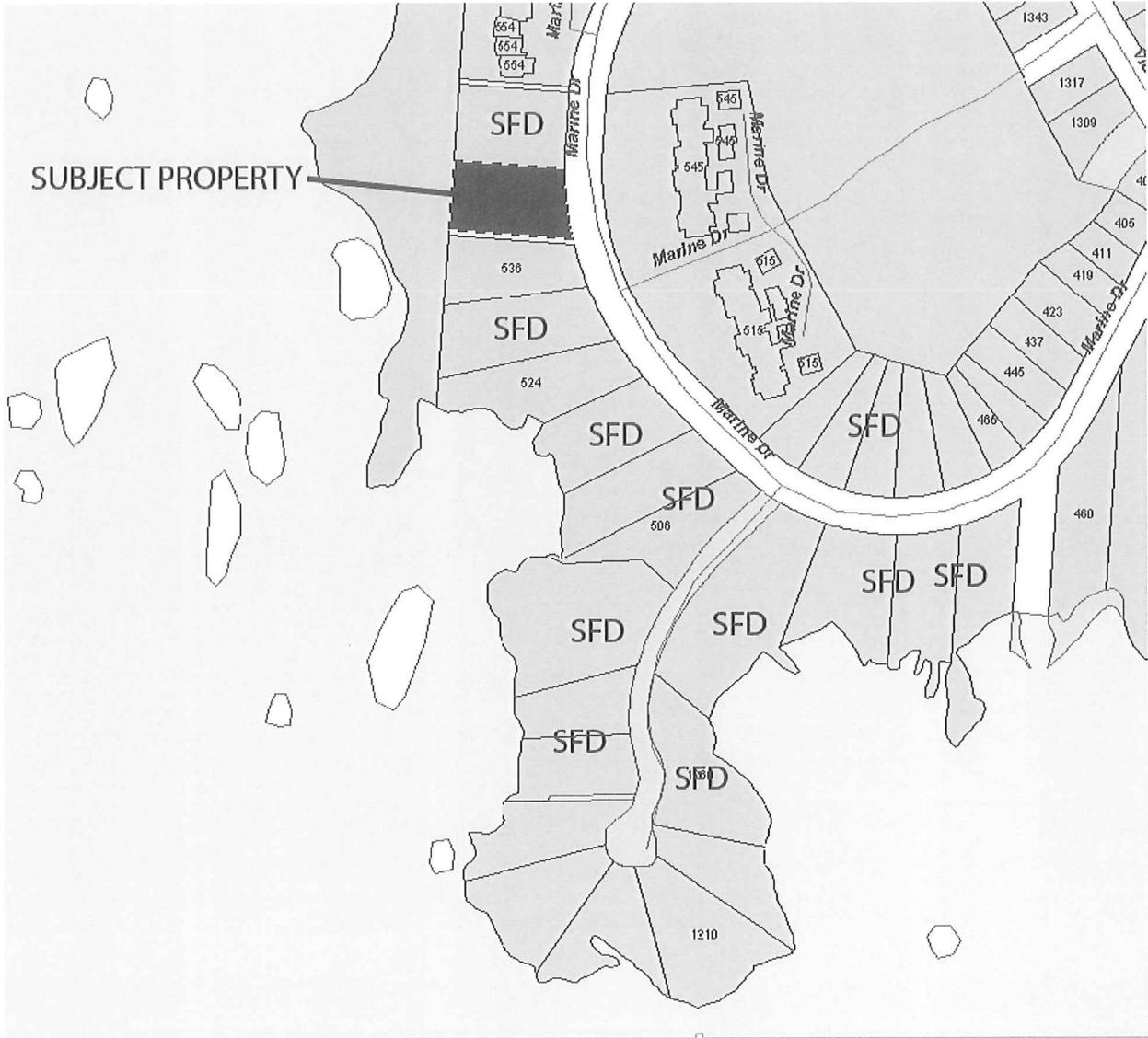
CAO
Andrew Yeates

THE CORPORATE SEAL of the District of Ucluelet was hereto affixed in the presence of:

CAO
Andrew Yeates

FOR REFERENCE

SCHEDULE 'A'
Bylaw 1179, 2015



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DISTRICT OF UCLUELET

Bylaw No. 1179, 2015

A bylaw to amend the "District of Ucluelet Zoning Bylaw No. 1160, 2013".

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NOW THEREFORE the Council of the District of Ucluelet, in open meeting assembled, enacts as follows;

1. THAT the property with legal description of Lot 4, District Lot 281, Clayoquot District Plan VIP76214, PID 025-812-700, generally as shown highlighted in black on the Schedule 'A' attached to and forming part of this bylaw, be rezoned from CD-2A SubZone – District Lot 281 (Lot 1) to VR-1 Vacation Rental, Single Family Dwelling and the Text and Zoning Maps of the District of Ucluelet Zoning Bylaw No. 1160, 2013 be amended accordingly.

READ A FIRST TIME this 13th day of January, 2015.

READ A SECOND TIME this 13th day of January, 2015.

PUBLIC HEARING held this Xth day of XX, 2015.

READ A THIRD TIME this Xth day of XX, 2015.

ADOPTED this Xth day of XX, 2015.

CERTIFIED A TRUE AND CORRECT COPY of "District of Ucluelet Zoning Amendment Bylaw No. 1179, 2015."

Mayor
Dianne St. Jacques

CAO
Andrew Yeates

THE CORPORATE SEAL of the District of Ucluelet was hereto affixed in the presence of:

CAO
Andrew Yeates

SCHEDULE 'A'
Bylaw No. 1179, 2015

